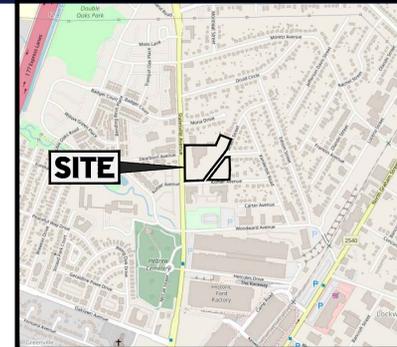


PARCEL H
54,995 SQ. FT.
1.2625 ACRES
MQC1, LLC
DB. 34041, PG. 124
PIN: 079-048-21
USE: COMMERCIAL
ZONING: B-2

ODELL & ALICE NEAL
DB. 1418, PG. 91
LOT 6
MB. 6, PG. 259
PIN: 079-048-15
USE: SINGLE FAMILY
ZONING: R-5

AHMED FAIK and
JASIM WAHAB
DB. 29612, PG. 861
LOTS 15 AND 16, BLOCK 1
MB. 3, PG. 332
PIN: 079-048-29
USE: SINGLE FAMILY
ZONING: R-5



VICINITY MAP

ZONING INFORMATION AND NOTES:

- OWNER/APPLICANT:
MQC1, LLC
PO BOX 190442
ATLANTA, GA 31119
CONTACT: GLENN STEWART
EMAIL: GLENN@MINDSETCAPITAL.COM
- THIS PLAN IS BASED ON THE FOLLOWING:
R.B. PHARR & ASSOCIATES, P.A.
"ALTANSPS LAND TITLE SURVEY PREPARED FOR MQC1, LLC"
PROJECT # 92349
DATED: 12/29/20
- PARCEL:
PIN: 079-048-22, 079-048-26, 079-048-28, 079-048-52, 079-048-53, 079-048-54,
PORTION OF 07904822
2301, 2302 STATESVILLE AVENUE;
2201, 2219, 2215 ARDEN STREET; 1100 KOHLER VENUE
CHARLOTTE, MECKLENBURG COUNTY NC
PARCEL AREA: 5.19 ACRES
- EXISTING ZONING:
B-2 (GENERAL BUSINESS), I-1 CD (LIGHT INDUSTRIAL), R-5 (SINGLE FAMILY RESIDENTIAL), R-22MF (MULTIFAMILY RESIDENTIAL)
USE: VACANT
- PROPOSED ZONING:
MUDD-CD (TOTAL AREA TO BE REZONED: ±5.19 AC)
USE: MIXED USE (COMMERCIAL & MULTIFAMILY)

LEGEND

- EXISTING PROPERTY BOUNDARY: Dashed line
- DEVELOPMENT AREA & PROPERTY BOUNDARY: Thick dashed line
- RIGHT OF WAY REQUIRED PER ROAD IMPROVEMENTS: Dotted line
- SITE FEATURE ENVELOPES: Solid line
- BUILDING ENVELOPE: Solid grey fill
- PARKING ENVELOPE: Hatched fill
- POTENTIAL AMENITY / OPEN SPACE AREA ENVELOPE: Diagonal hatched fill

BOHLER
BOHLER ENGINEERING NC, PLLC

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

PROJECT No.:	NCC202084
DRAWN BY:	ODR
CHECKED BY:	BBM
DATE:	3/10/21
CAD ID:	RZP - 0

REZONING PLAN

FOR

MQC1, LLC

NORTH END DEPOT
STATESVILLE AVENUE &
KOHLER AVENUE
CHARLOTTE, NC 28206
MECKLENBURG COUNTY

BOHLER
BOHLER ENGINEERING NC, PLLC
NCEBLS P-1132

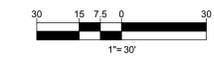
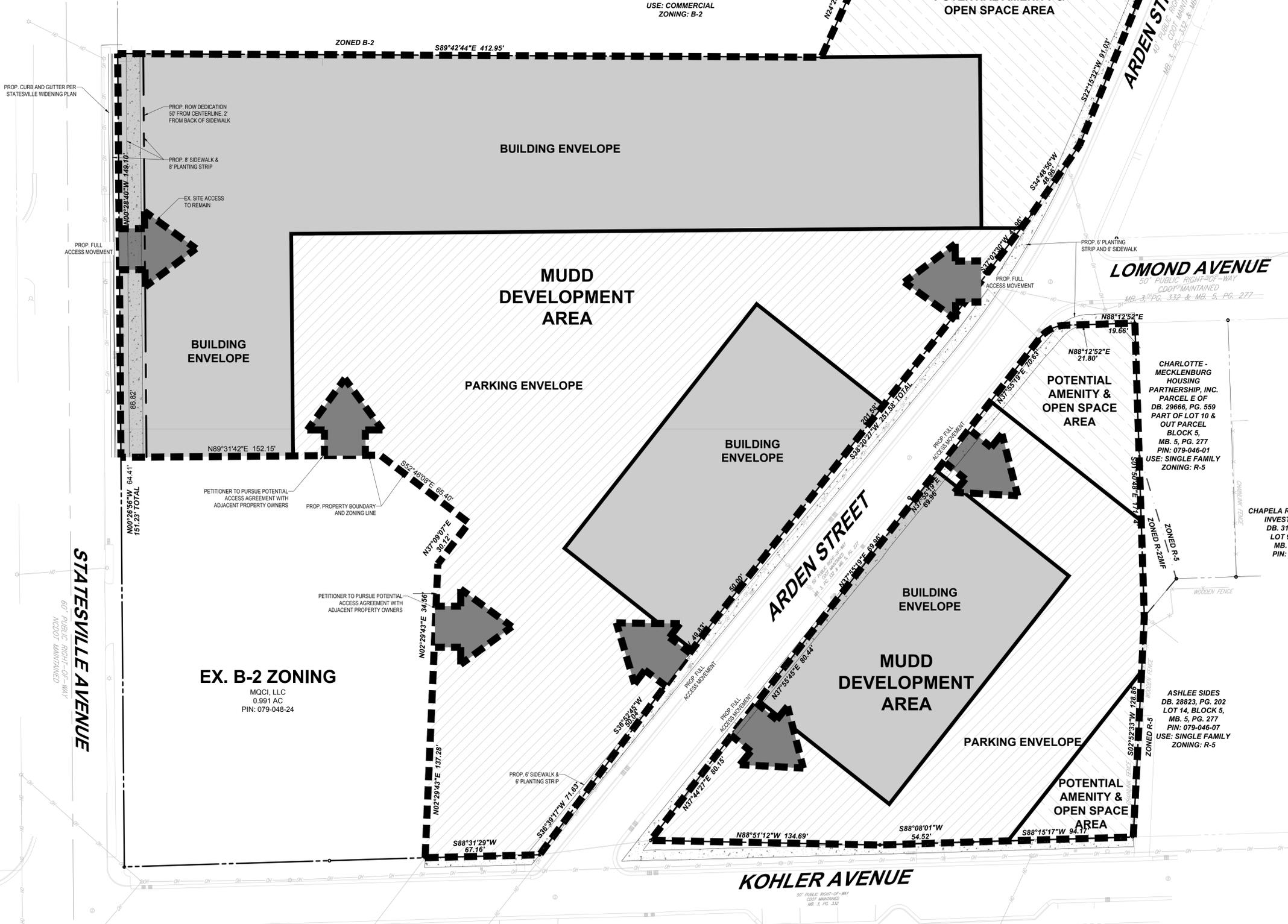
1927 S. TRYON STREET, SUITE 310
CHARLOTTE, NC 28203
Phone: (980) 272-3400
Fax: (980) 272-3401
NC@BohlerEng.com



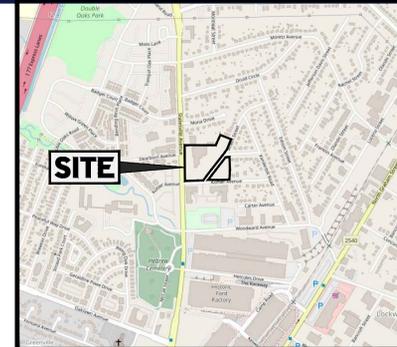
SHEET TITLE:
TECHNICAL DATA SHEET

SHEET NUMBER:
RZ-1

ORG. DATE - 3/10/21



Mar 18, 2021
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VICINITY MAP

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SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
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PROJECT No.: NCC202084
DRAWN BY: ODR
CHECKED BY: BMM
DATE: 3/10/21
CAD ID: RZP-0

REZONING PLAN

FOR

MQC1, LLC

NORTH END DEPOT
STATESVILLE AVENUE & KOHLER AVENUE
CHARLOTTE, NC 28206
MECKLENBURG COUNTY

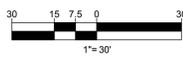
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BOHLER ENGINEERING NC, PLLC
NCEBS P-1132
1927 S. TRYON STREET, SUITE 310
CHARLOTTE, NC 28203
Phone: (980) 272-3400
Fax: (980) 272-3401
NC@BohlerEng.com

Professional Engineer Seal for Brian B. Miller, No. 045609, dated 3/18/21.

SHEET TITLE:
AERIAL MAP

SHEET NUMBER:
RZ-3

ORG. DATE - 3/10/21



Mar 18, 2021
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